

To Whom It May Concern,

As per the Pre-Application instructions, the following is a descriptive narrative for:
7637 E. Via Del Placito, Scottsdale Arizona.

The site as it currently exists consists of a single-family 2-story custom home built in 1977. It contains typical elements relating to a single-family home such as a paved driveway, pool, patios, and landscaping. The terrain gently slopes up from the street until it intersects the home, then levels off through to the rear yard, extending relatively level until the rear yard fence. The yard then drops slightly down into the golf course behind and outside the rear fence.

After intensive research regarding the integrity of the existing structure, the owner proposes demolishing the current home and constructing a new home.

By researching the surrounding properties through the City Records Department and a preliminary meeting with Scottsdale staff, we found it was viable to construct our home as homeowners in our development have, to build between the "0" property line and 7'-0" setback. Development guidelines currently require a "0" property line and 7'-0" setback and nothing in between. Homes however ranging in age from 25 years to 3 years sit between the "0" property line and 7'-0" setback requirements. This ranges anywhere from 0'-8" to 6'-6".

Other requirements of maintaining 14' between building is still in effect as are the front and rear setbacks. We would simply like to maintain compatibility and build between the "0" property line and 7'-0" setback as others in our development have been allowed. There are no adverse or unusual characteristics that would restrict our proposal.

Sincerely,
Wilma and Marino Lombardi



9-BA-2005
8/30/2005



ZONING ORDINANCE VARIANCE

Application Submittal Requirements

Justification for Variance

The Board of Adjustment may not authorize a zoning ordinance variance unless ALL of the following criteria are met. Use the space provided to present your evidence that the requested variance complies; you may attach a separate sheet if you need more room.

1. Special circumstances/conditions exist which do not apply to other properties in the district:

No special circumstances. They already exist, regarding these set back variance we're requesting. The City of Scottsdale has already approved these variances in this subdivision with the Board of Adjustment approval.

2. Authorizing the variance is necessary for the preservation and enjoyment of substantial property rights:

This variance had been verbally approved by a staff member in the initial design phase. Based on that information given to us, we have spent a substantial amount of time and money on the blueprints, and the time for City of Scottsdale's first review.

3. Special circumstances were not created by the owner or applicant:

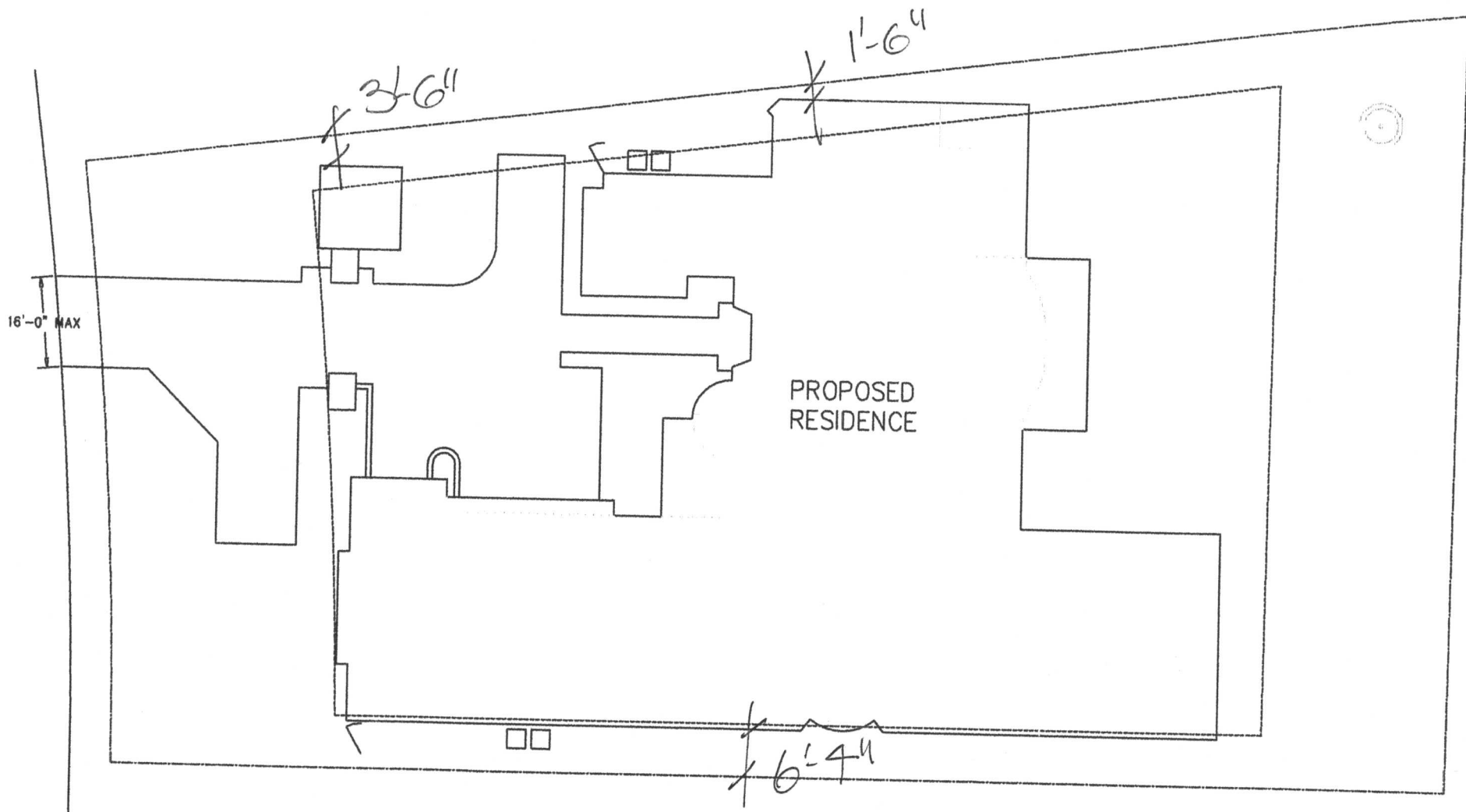
We are not applying for any special circumstances, because these set backs are already in this subdivision, and exist.

4. Authorizing the application will not be materially detrimental to persons residing or working in the vicinity, to the adjacent property, to the neighborhood, or to the public welfare in general:

This project would in no way be detrimental to anyone living or working in this neighborhood. In fact, it would enhance and increase the value of the surrounding homes.

Planning and Development Services Department

7447 E Indian School Road, Suite 105, Scottsdale, AZ 85251 • Phone: 480-342-7000 • Fax: 480-342-7000



SITE PLAN

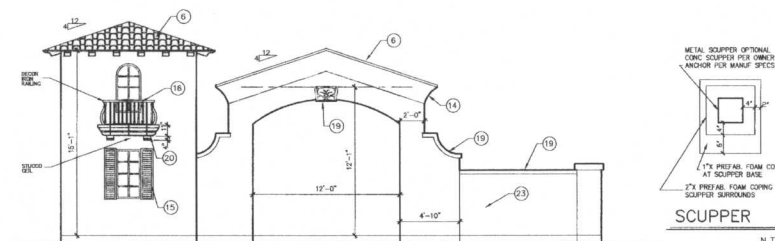
0 5 10 20
SCALE: 1" = 10'

9-BA-2005
8/30/2005



FRONT ELEVATION

1/4"=1'-0"



AUTO DRIVE AND TOWER

1/4"=1'-0"

ELEVATION REFERENCE NOTES

- 1 2x6 EXTERIOR WALLS AT 16" O.C. W/ 3/8" PLYWOOD PER SHEAR WALL SCHEDULE - SEE STRUCTURAL SHEETS FOR SHEAR WALL AND HOOD-DOWN LOCATIONS
- 2 2x6 PARAPETS W/ 3/4" PLYWOOD BACKING AND SPRAYED URETHANE ROOF OR EQUAL, INSTALL FOR EVALUATION REPORT AND THE MANUFACTURERS WRITTEN INSTRUCTIONS AND 1/2" TACK GLUE TO FRAMING (SEE SPECS) AND 30# FELT WITH WOOD BATTENS AS REQUIRED BY THE MFR.
- 3 APPROVED (WESTERN ONE NOTE OR EQ.) STUCCO SYSTEM PER SPECS ON THIS SHEET - W/ SMOOTH TONGUE TEXTURE, VENEER FINISH W/ VENEER. ALL CORNERS SHALL BE W/ MIN 2" RAD - ROUNDED. ALL OPENINGS W/ 1/2" TACK FELT AT FORMER (MIN 1" OVERLAP). SEE DETAIL.
- 4 STUCCO FINISH AT ALL EXTERIOR CORNERS (CORN # 3889 OR EQ) FINISH TO MATCH WALLS. EXTERIOR LIGHTS WITH RECESS LIGHTING ON TOP, VENEER FINISH COLOR.
- 5 FRAME COI. W/ 3/8" PLYWOOD UNDER STUCCO W/ POST INSIDE FOR BEAM BRING
- 6 MASONRY COLUMNS W/ STUCCO W/ BEAM POCKET FOR BEAM BEARING
- 7 CLAY PINTO TILE (DECORATIVE ONLY) OVER BUILT-UP ROOF OR ASPHALT SHINGLES OR EQUAL, INSTALL FOR EVALUATION REPORT AND THE MANUFACTURERS WRITTEN INSTRUCTIONS AND CURRENT REQ REQUIREMENTS - INSTALL OVER 5/8" COI. PLYWOOD (SEE SPECS) AND 30# FELT WITH WOOD BATTENS AS REQUIRED BY THE MFR.
- 8 2x6 FRAME W/ 1/2" PLYWOOD CONSTRUCTION AT NON-WOOD BURNING PREPARED PREPARED CHIMNEY W/ MIN. OF (1) SIMPSON STRUTZ THRU PLYWOOD SLUT TO TRUSS OR SOLID BULK AT EACH CORNER ALL FRAMING, SHEATHING, & FINISHES SHALL BE OF NON-COMBUSTIBLE MATERIAL. PROVIDE SIDE OPENINGS AT EACH SIDE (TYP.)
- 9 DIRECT VENT GAS F.P. PROVIDE SLOPED TOP - METAL CAP WITH STEPPED ROUNDED EDGES PROVIDED WITH TAPPED ORNAMENT AS SHOWN. PROVIDE FLUE W/ AN APPROVED SPARK ARRESTOR. PROVIDE FLASHING, BLOCKING, AND BRACING AS REQUIRED.
- 10 PROVIDE 2x6 GA. CORROSION RESISTANT G.I. KEEL SCOTED WITH MIN. 3/2" VERTICAL FLANGE ATTACHMENT, PROJECTING MIN. 3/4" BELOW SOLE PLATE AND TERMINATED MIN. 4" ABOVE FINISHED GRADE. SEE SPECS (ENR-1) AND DETAIL SHEET FOR ADD. NOTES
- 11 FINISH GRADE, SLOPE AWAY FROM HOUSE A MAX OF 10% FOR A DISTANCE OF FIVE (5) MIN.
- 12 EXPOSED 1/2" LATTICE AND BEAMS - SEE ROOF DRAINAGE PLAN FOR LATTICE LAYOUT AND SEE ROOF FRAMING PLAN FOR BEAM SIZE AND CONNECTIONS.
- 13 CULTURED (N.E.R. # 358, OR EQUAL) STONE VENEER FINISH UTILIZING A MATCHING COLOR SCHEME AND RANDOM SHAPES AND SIZES - INSTALL PER MFR. SPECS
- 14 ROUNDED FACIA - SEE DETAIL ON SHEET 5 - EXTERIOR ELEVATIONS
- 15 PREFAB SHUTTERS (DECORATIVE OR EQ.) - METAL PER MFR. SPECS
- 16 42" HIGH (EXCEPT FOR DECORATIVE-SEE PLAN) PREFABRICATED IRON RAILING WITH PICKETS SET SO THAT A 4" DIAMETER SPHERE CANNOT PASS THROUGH - ANCHOR DECK AS REQUIRED
- 17 PREFAB METAL SCUPPER - SEALED, SLOPED AND UNED AS REQ'D. VENEER FINISH W/ VENEER. SEE DETAIL
- 18 PRE-FAB CANTERBURY STONE CORNER TRIM ANCHORED TO FRAME WALL W/ PRE-SET 1/4" DIA. (ADHESIVE) UNDRERD TREATED BOLTS - (MIN. 2 PER 48" PRICE) W/ ADHESIVE APPLIED TO BACK & SET TO WALL - BOLT BACK SIDE THROUGH SOLID BACKING PER MFR. SPECS OR INSTALL PER MFR. SPEC.
- 19 PREFAB FOAM CORNER & ALL PARAPETS/CHIMNEY TOPS - INSTALL PER MFR. SPECS
- 20 PRECAST CONCRETE TRIM ANCHORED TO FRAME WALL W/ PRE-SET 1/4" DIA. (ADHESIVE) UNDRERD TREATED BOLTS - (MIN. 2 PER 48" PRICE) W/ ADHESIVE APPLIED TO BACK & SET TO WALL - BOLT BACK SIDE THROUGH SOLID BACKING PER MFR. SPECS OR INSTALL PER MFR. SPEC.
- 21 24" PRECAST COLUMNS ON MASONRY BASE W/ 4" PRECAST CORNER @ THE TOP OF THE MASONRY BASE
- 22 MASONRY LOW WALLS W/ MATCHING 1/2" STUCCO FIN. ROUND CAP TOP OF WALLS (TYP.)

NOTE: ALL FRAMING SHALL BE A MIN OF 6" ABOVE GRADE DIRECTLY ADJACENT. HEIGHTS SHOWN ARE FROM THE ADJACENT FINISH FLOOR. FINISH FLOOR HEIGHTS ARE ASSUMED. SEE SITE PLAN FOR ACTUAL.

REINFORCED TEMPERED GLASS LOCATIONS

STUCCO FINISH

Shall be Western One Note/Stucco System (I.C.B.O. #3889)

Stucco System shall be applied over 6 weather-resistant barrier.

1. This weather-resistant barrier when applied over open stud framing shall consist of:

- a.) One layer of type 15 # felt building paper, or
- b.) Two layers of grade D Kraft water proof paper.

2. This weather-resistant barrier, when applied over wood based sheathing shall consist of:

- a.) One layer of type 15 Asphalt-saturated organic felt, or
- b.) Two layers of grade D Kraft water proof paper.

ALL EXTERIOR CORNERS SHALL BE ROUNDED, (HORIZ & VERT) INCLUDING PROJECTIONS.

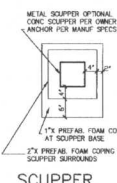
BRACING

The exterior side of all exterior walls shall be braced at each end of the inside and outside corners, along with being braced at least every 20 feet in length. Where a 1/4" set-in brace or metal 4" bracing cannot be utilized due to openings, provide a minimum of 3/8" plywood sheath bracing from the corner to 4'-0" beyond the wall opening, or in the next corner, whichever comes first.

NOTE: OPTIONAL DECORATIVE SHOULD MAY BE USED ON NON-WOOD BURNING, FACTORY BUILT, FIREPLACE CHIMNEYS WHERE SUCH SHROUDS ARE LISTED AND LABELLED FOR USE WITH THE SPECIFIC FACTORY-BUILT CHIMNEY SYSTEM & INSTALLED PER MFR. WRITTEN INSTRUCTIONS.

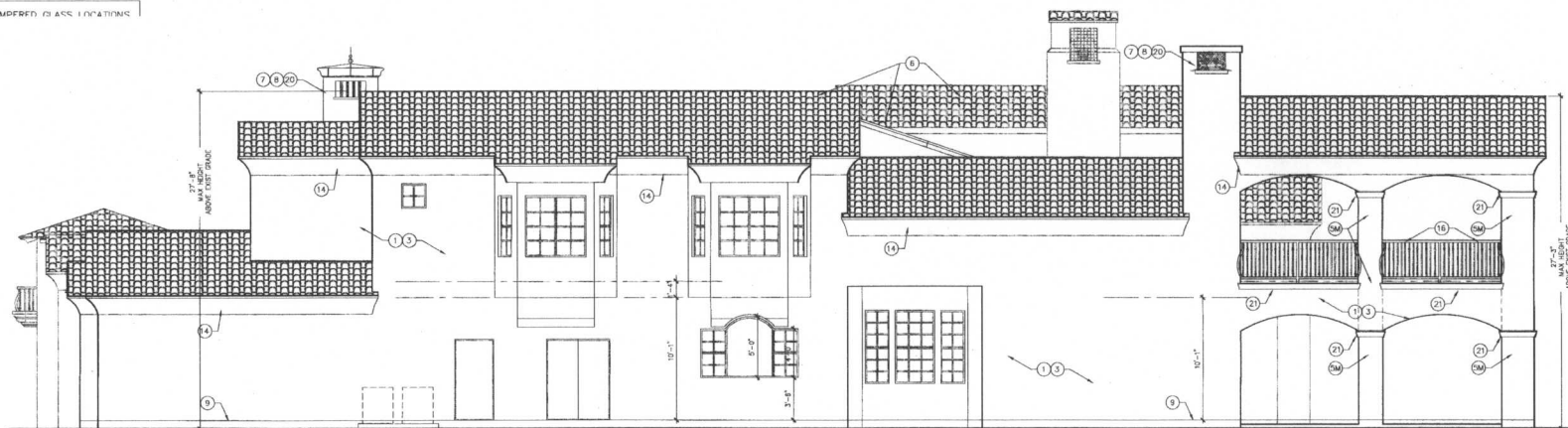
MAG ONE COAT STUCCO COMPLIANCE PROGRAM

All one-coat stucco systems shall be applied by manufacturer approved installers. An approved weather-resistant barrier shall be installed over all framing and wood based sheathing.



SCUPPER

N.T.S.



RIGHT ELEVATION

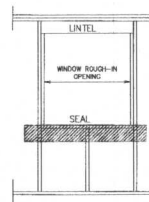
1/4"=1'-0"

9-BA-2005
8/30/2005



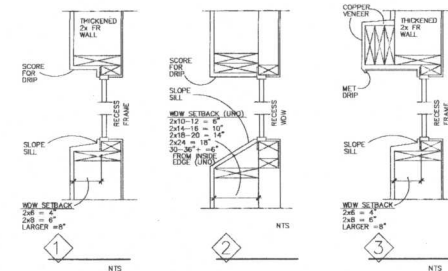
REAR ELEVATION

1/4"=1'-0"



WINDOW FLASHING DETAIL / NOTES

- WINDOW AND DOOR FLASHING, INSTALLATION AND METHOD
- STEP 1
ATTACH SILL STRIP WITH TOP EDGE LEVEL WITH ROUGH SILL;
EXTEND BEYOND EDGE OF ROUGH OPENING AT LEAST 8"
SECURE ALL BUILDING PAPER OR SIMILAR APPROVED FLASHING MATERIAL WITH GALVANIZED NAILS OR
POWER DRIVEN STAPLES.
- STEP 2
ATTACH JAMB STRIPS WITH SIDE EDGE EVEN WITH ROUGH-JAMB FRAMING.
START STRIP 1" BELOW LOWER EDGE OF SILL STRIP AND EXTEND 4" ABOVE LOWER EDGE OF UNTEL.
- STEP 3
INSTALL WINDOW INTO ROUGH OPENING WITH SILL AND JAMB FLANGES OVER PREVIOUSLY INSTALLED
FLASHING.
ATTACH HEAD FLASHING OVER THE WINDOW FLANGE.
- STEP 4
CONNECTING AT THE BOTTOM (SOLE PLATE) OF THE WALL, LAY BUILDING PAPER UNDER SILL STRIP;
CUT ANY EXCESS BUILDING PAPER THAT MAY EXTEND ABOVE THE SILL FLANGE LINE ON EACH SIDE OF OPENING
(SHOWN AS DASHED LINE).
DO NOT CUT BUILDING PAPER HORIZONTALLY SO THE PAPER WILL LAP OVER THE JAMB STRIPS.
INSTALL SUCCESSIVE LINES OF BUILDING PAPER (B.C.D. ETC.)
OVER JAMB AND HEAD FLANGES, LAPPING EACH COURSE.
- NOTE:
COORDINATE THESE NOTES W/ THE STUCCO MANUF. WRITTEN INSTRUCTIONS.



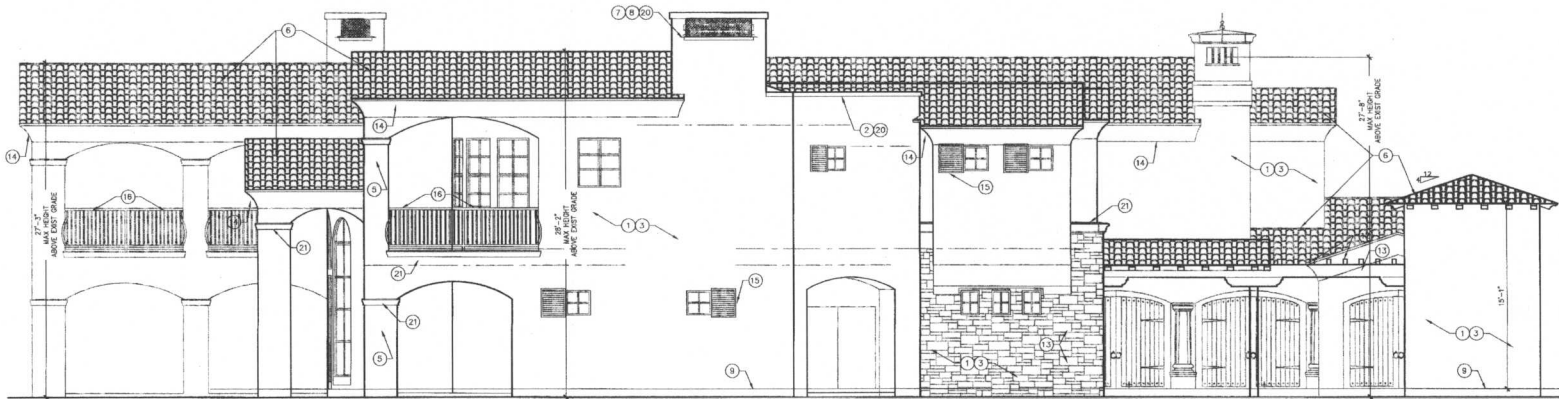
WINDOW FLASHING DETAILS

ELEVATION REFERENCE NOTES

- 1) 2x6 EXTERIOR WALLS AT 16" O.C. W/ 3/4" PLYWOOD FOR SHEAR WALL SCHEDULE - SEE STRUCTURAL SHEETS FOR SHEAR WALL AND HOLD-DOWN LOCATIONS
- 2) 2x6 PARAPETS W/ 5/8" PLYWOOD BACKING AND SPRAYED URETHANE ROOF OR EQUAL, VERTICAL PER EVALUATION REPORT AND THE MANUFACTURER'S WRITTEN INSTRUCTIONS AND 1/2" (BAG CODE PLYWOOD (SEE SPEC)) AND 30# FELT W/ 1000 SATTENS AS REQUIRED BY THE MANUF.
- 3) APPROVED (WESTERN ONE KOTE OR EQ) STUCCO SYSTEM PER SPEC. ON THIS SHEET - W/ 3000 PSI PORTLAND CEMENT, 1000 PSI FINISH W/ FORMER. ALL CORNERS SHALL BE W/ MIN 2" RAD - ROUNDED - SEE DETAIL.
- 4) STUCCO FINISH AT ALL EXTERIOR CEILINGS (EQD # 3099 OR EQ) FINISH TO MATCH WALLS. EXTERIOR SOFFIT WITH RECESS LIGHTING ON TOP, VERY FINISH COLOR.
- 5) FRAME COL. W/ 5/8" PLYWOOD UNDER STUCCO W/ POST INSIDE FOR BEAM BRING
- 6) MASONRY COLUMN W/ STUCCO W/ BEAM POCKET FOR BEAM BEARING
- 7) CLAY PINTO TILE (DECORATIVE ONLY) OVER BUILT-UP ROOF ON ASPHALT SHINGLES OR EQUAL. INSTALL PER EVALUATION REPORT AND THE MANUFACTURER'S WRITTEN INSTRUCTIONS AND CURRENT IRC REQUIREMENTS - INSTALL OVER 5/8" CGR PLYWOOD (SEE SPEC) AND 30# FELT WITH WOOD BATTENS AS REQUIRED BY THE MFR.
- 8) 2x6 FRAME W/ 3/4" PLYWOOD CONSTRUCTION AT NON-WOOD BURNING PRETREAT. FIREPLACE CHIMNEY W/ MIN. OF (1) CONCRETE STUCCO THRU DRYING SLIT TO TRUSS OR SOLID BLOCK AT EACH CORNER ALL FRAMING, SHEATHING, & FINISHES SHALL BE OF NON-COMBUSTIBLE MATERIAL. PROVIDE DOOR OPENINGS AT EACH SIDE (TYP.)
- 9) [DIRECT VENT GAS F.P.] PROVIDE SLOPED TOP - METAL CAP WITH STEPPED ROUNDED EDGES PROVIDED WITH TAPERED OPENING AS SHOWN. PROVIDE FLUE W/ AN APPROVED SPARK ARRESTOR. PROVIDE FLASHING, BLOCKING AND BRACING AS REQUIRED
- 10) PROVIDE 2x6 GA. CORROSION RESISTANT CL. WEEP SCOTED WITH MIN. 3 1/2" VERTICAL FLANGE ATTACHMENT. PROJECTING MIN. 3/4" BELOW SOLE PLATE AND TERMINATED MIN. 4" ABOVE FINISHED GRADE. SEE SPEC'S (DHT 1) AND DETAIL SHEET FOR ADD'L NOTES
- 11) FINISH GRADE. SLOPE AWAY FROM HOUSE A MAX. OF 10% FOR A DISTANCE OF FIVE (5) MIN.
- 12) EXISTING GRADE. SEE CIVIL PLAN.
- 13) EXPOSED R/S LATTICE AND BEAMS - SEE ROOF DRAINAGE PLAN FOR LATTICE LAYOUT AND SEE ROOF FRAMING PLAN FOR BEAM SIZE AND CONNECTIONS.
- 14) CULTURED (IN R. # 256, OR EQUAL) STONE VENEER FINISH UTILIZING A MATCHING COLOR SCHEME AND RANDOM SHAPES AND SIZES - INSTALLED PER MANUF SPEC.
- 15) ROUNDED T/ADGA - SEE DETAIL ON SHEET 5 - EXTERIOR ELEVATIONS
- 16) PREFAB SHUTTERS (DECORATIVE ONLY) - INSTALL PER MFR. SPEC.
- 17) 42" HIGH (EXCEPT FOR DECORATIVE - SEE PLAN) PREFABRICATED IRON RAILING WITH PICKETS SET SO THAT A 4" DIAMETER SPHERE CANNOT PASS THROUGH - ANCHOR DEED. AS REQUIRED
- 18) PREFAB METAL SCUPPER - SEALS, SLOPED AND UNED AS REQD. VERIFY LOCATION W/ OWNER. SEE DETAIL.
- 19) PRE-FAB CONCRETE STONE COPING TRIM ANCHORED TO FRAME WALL W/ PRE-SET 1/4" DIA. (ADHESIVE) EMBEDDED THREADED BOLTS - (MIN. 2 PER 48" PIECE) W/ ADHESIVE APPLIED TO BACK & SET TO WALL - BOLT BACK SIDE THROUGH SOLID BACKING PER MFR. SPEC. OR INSTALL PER MFR. SPEC.
- 20) PREFAB FOAM COPING @ ALL PARAPETS/CHIMNEY TOPS - INSTALL PER MFR. SPEC.
- 21) PRECAST CONCRETE TRIM ANCHORED TO FRAME WALL W/ PRE-SET 1/4" DIA. (ADHESIVE) EMBEDDED THREADED BOLTS - (MIN. 2 PER 48" PIECE) W/ ADHESIVE APPLIED TO BACK & SET TO WALL - BOLT BACK SIDE THROUGH SOLID BACKING PER MFR. SPEC. OR INSTALL PER MFR. SPEC.
- 22) 2x4 PRECAST COLUMNS ON MASONRY BASE W/ 4" PRECAST COPING @ THE TOP OF THE MASONRY BASE
- 23) MASONRY LOW WALLS W/ MATCHING 1/2" STUCCO FIN. ROUNDED CAP TOP OF WALLS (TYP.)

NOTE: ALL FRAMING SHALL BE A MIN. OF 6" ABOVE GRADE DIRECTLY ADJACENT.
HEIGHTS SHOWN ARE FROM THE ADJACENT FINISH FLOOR.
FINISH FLOOR HEIGHTS ARE ASSUMED. SEE SITE PLAN FOR ACTUAL.

① DENOTES TEMPERED GLASS LOCATIONS



LEFT ELEVATION

1/4"=1'-0"

9-BA-2005
8/30/2005

7837 E WA DEL PLACITO
LOT 25, PALO VIENTO 1
LOT 25

LOT 25
VIA DEL PLACITO

LOWBARDI CUSTOM HOME

LOT 25

Steven R. Smith
Custom Home Designs
7837 E WA DEL PLACITO
LOT 25, PALO VIENTO 1
LOT 25
design and architectural consultants

SHEET 06

7837 E WA DEL PLACITO
LOT 25, PALO VIENTO 1
LOT 25

LUXURY ARCHITECTURE.COM